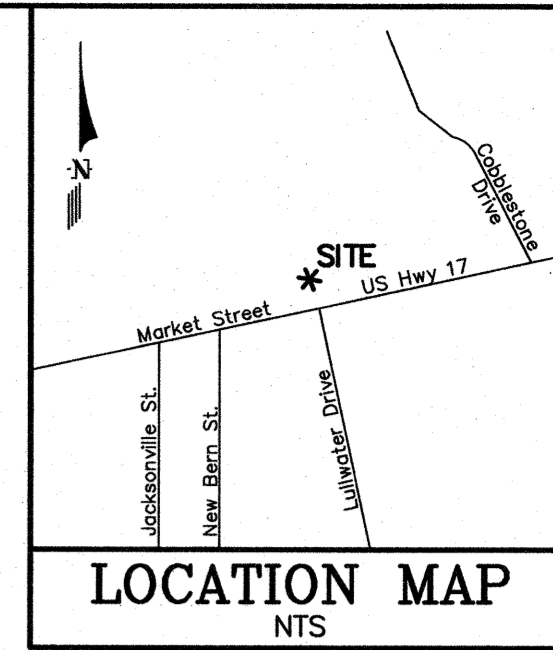


- SITE INVENTORY NOTES:**
- PREPARER OF THE PLAN: TRIPP ENGINEERING, P.C.
  - APPLICANT NAME: SERAI ENTERPRISES, INC.
  - SITE ADDRESS OF THE DEVELOPMENT: 5001 MARKET STREET
  - PROPERTY OWNER: SERAI ENTERPRISES, INC.
  - DEVELOPER: SERAI ENTERPRISES, INC.
  - PROPERTY BOUNDARY: SEE PLAN  
TAX PARCEL INFORMATION: R04915-001-010-000
  - PROPERTY ZONING: RB; REGIONAL BUSINESS DISTRICT
  - ADJACENT PROPERTY OWNER INFORMATION: SEE PLAN
  - VICINITY MAP: SEE PLAN
  - TOPOGRAPHY: SEE PLAN
  - 100-YEAR FLOOD BOUNDARY: N/A
  - EXISTING DITCHES, CREEKS AND STREAMS: NONE
  - SOIL: Ur; URBAN LAND AND Se; SEAGATE FINE SAND
  - CAMA AEC: N/A
  - CAMA LAND CLASSIFICATION: URBAN
  - CONSERVATION RESOURCES: NONE  
ASSOCIATED SETBACKS: N/A
  - HISTORIC OR ARCHAEOLOGICAL SITE: N/A
  - CEMETERIES, BURIAL SITES/GROUNDS: N/A
  - FORESTED AREAS, HABITAT AND DOMINANT SPECIES: N/A
  - WETLANDS: NONE
  - PROTECTED SPECIES OR HABITAT: N/A
  - EXISTING OR PROPOSED THROUGHFARES, BIKE ROUTES, PEDESTRIAN SIDEWALKS OR TRAILS AND TRANSIT FACILITIES: SEE SITE PLAN
  - EXISTING TREES: SEE PLAN



REVISIONS		
No./Date	Description	By
4/05/19	RESPONSE LETTER REV	JET
4/15/19	REVISE TREES/DEMOS	JET
6/3/19	REMOVE DEMO ISLANDS	JET
7/2/19	ADD TREE CHART	JET
7/26/19	RESPONSE LETTER REV	JET
8/23/19	ADD TO CLOSING CALLOUT	JET

INVENTORY OF TREES TO BE REMOVED			INVENTORY OF TREES TO BE PRESERVED			CREDIT FOR PRESERVED TREES				
TREE TYPE	TREE SIZE	QUANTITY	TREE TYPE	TREE SIZE	QUANTITY	TOTAL DBH	DBH	CREDIT PER	QUANTITY	CREDIT
PINE	20"	1	PINE	19"	1	19	2-5	1	3	3*1 = 3
PINE	21"	2	GUM	24"	1	24	12-17	3	1	3*1 = 3
PINE	22"	3	MAPLE	20"	1	20	18-23	4	2	2*4 = 8
PINE	23"	1	HOLLY	5"	1	5	>24	(DBH/6)	1	3/4 = 4
PINE	24"	5	TWIN HOLLY	5"/6"	1	10				
PINE	25"	2	CREPE MYRTLE CLUSTER	14"	1	14				
PINE	26"	2								
BRADFORD PEAR	8"	1								
BRADFORD PEAR	9"	1								
									TREES (CREDIT)	18

TREE MITIGATION CHART				
TREE TYPE	TREE SIZE	# OF TREES	% MITIGATION	REPLACEMENT TREES REQUIRED
*PINE	24 IN.	5	100	120x(1.00X2)/3=80
*PINE	25 IN.	2	100	50x(1.00X2)/3=33
*PINE	26 IN.	2	100	52x(1.00X2)/3=34

**NOTES:**  
 TOTAL REPLACEMENT TREES REQUIRED = 147 TREES,  
 18 TREES (CREDIT)  
 129 TREES  
 TOTAL: 129 TREES TO BE MITIGATED X \$350 PER TREE = \$45,150 TO BE PAID IN LIEU.

**LEGEND**

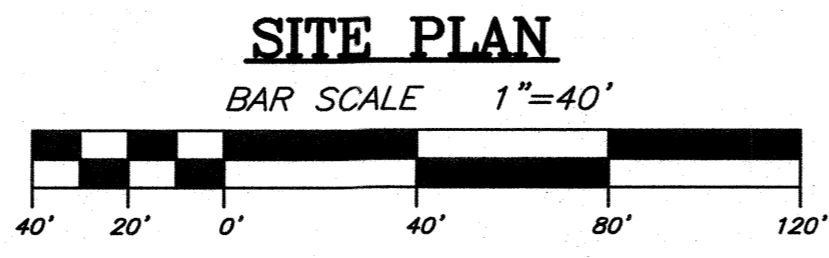
	PROPERTY BOUNDARY
	TREE PROTECTION
	LIGHT POLE
	CURB INLET
	UTILITY POLE
	OVERHEAD WIRE
	GAS ASSEMBLY
	TRAFFIC BOX
	WATER METER
	DROP INLET
	GUY WIRE
	SANITARY SEWER MANHOLE
	SEPTIC CLEANOUT
	BACKFLOW PREVENTER
	FIRE HYDRANT
	SIGN
	LARGE SIGN
	ELECTRIC APPARATUS
	UTILITY BOX
	IRRIGATION CONTROL VALVE
	ASPHALT/DEMO TO BE REMOVED
	DEMO
	ASPHALT/DEMO AND REGRADE
	RAIN TANK

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

**Approved Construction Plan**

Name	Date
Planning	_____
Traffic	_____
Fire	_____

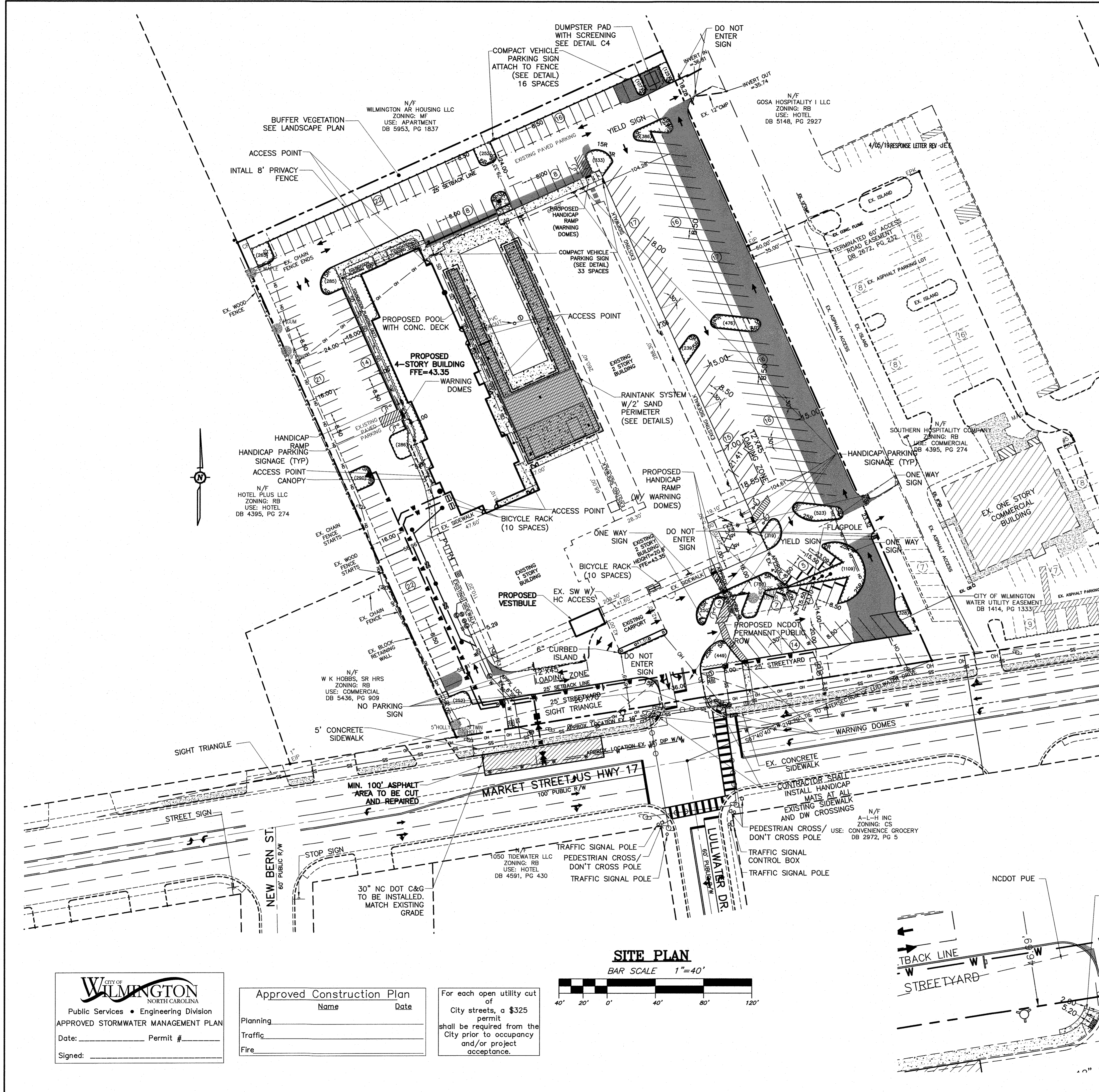
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



**SITE INVENTORY PLAN**  
**TRU & TAPESTRY HOTEL**  
 5001 MARKET STREET  
 WILMINGTON, NORTH CAROLINA

**TRIPP ENGINEERING, P.C.**  
 419 Chestnut Street  
 Wilmington, North Carolina 28401  
 Phone 910-763-5100  
 Fax 910-763-5631  
 © 2019 TRIPP ENGINEERING, P.C.

**T**  
 DATE 02-08-19  
 DESIGN PGT  
 DRAWN JET  
**C1**  
 SHEET 1 OF 7  
 17068



**NOTES:**

**ZONING:**

- 1) TOPOGRAPHY COMPLETED BY PORT CITY GEOMATICS, LTD.
- 2) PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS. CITY OF WILMINGTON WILL NOT ALLOW OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY.
- 3) CONTRACTOR SHALL FIELD VERIFY SIZE, MATERIAL, INVERTS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED CONNECTIONS.
- 4) EXISTING EASEMENTS AS SHOWN.
- 5) CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- 6) UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0698.

**SOLID WASTE:**

- 1) SITE TO USE DUMPSTER.

**TRAFFIC:**

- 1) ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- 2) TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- 3) CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNALS FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- 4) CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- 5) ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- 6) CONTACT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- 7) ALL TRAFFIC CONTROL SIGNS AND MARKINGS OF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- 8) NO ROWS TO BE CLOSED.
- 9) NO STREETS PROPOSED.
- 10) OFF SITE PARKING PROPOSED AS SHOWN.
- 11) DRIVEWAYS TO MEET CITY STANDARDS.
- 12) ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- 13) STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- 14) TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- 15) POSTED SPEED LIMIT 40 MPH.

**LANDSCAPING:**

- 1) A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND THE PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
- 2) NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.
- 3) PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- 4) ANY TREES AND GROVES DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARBED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THESE AREAS.
- 5) NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED.
- 6) PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTIONS ON TREE PROTECTION METHODS.
- 7) ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.

**CEPWA:**

- 1) WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- 2) PROJECT SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR APPROVAL.
- 3) IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPERS SIDE OF THE WATER METER BOX.
- 4) ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA'S CONNECTION CONTROL REGULATION, CALL 910-332-6419 FOR INFORMATION.
- 5) ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES FOR USPOC/ORH OR ASSE.
- 6) PUBLIC WATER MAIN EXTENSION AND WATER SERVICES PROPOSED. SANITARY SEWER SERVICE PROPOSED.
- 7) CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.
- 8) ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- 9) CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- 10) A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5688 FOR MORE DETAILS.

**DRAINAGE:**

- 1) EXISTING DISCHARGE FOR ENTIRE SITE IS SHEET TO THE NORTH AND EAST THEN OFFSITE THROUGH AN EXISTING 12" CMP, THEN NORTH.
- 2) ROOF DRAINS ARE TO BE TIED TO UNDERGROUND INFILTRATION SYSTEM.

**UNDERGROUND UTILITIES:**

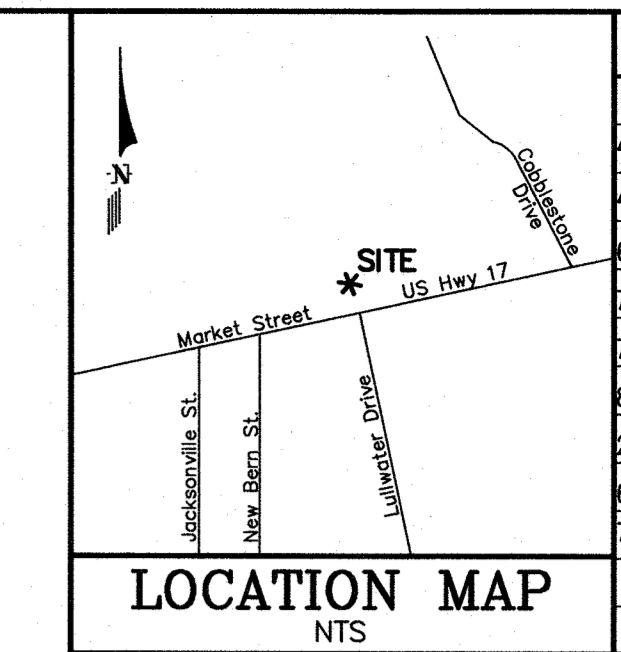
- 1) ALL ELECTRIC, CABLE TELEVISION AND TELEPHONE FACILITIES, FIRE ALARM CONDUITS, STREET LIGHTING WIRING AND OTHER WIRING CONDUITS AND SIMILAR FACILITIES SHALL BE PLACED UNDERGROUND BY THE DEVELOPER OR THE APPROPRIATE UTILITY COMPANY.
- 2) A MINIMUM COVER OF 30-INCHES OVER ALL PROPOSED WATER LINES SHALL BE PROVIDED.

**FIRE:**

- 1) FIRE HYDRANTS TO BE INSTALLED PER CITY OF WILMINGTON ORDINANCE AND CFPUA STANDARDS.
- 2) PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS OR FDC'S.
- 3) FDC'S CAN BE NO FURTHER THAN 40' FROM FIRE DEPARTMENT VEHICLE PLACEMENT.
- 4) FDC'S CAN BE NO FURTHER THAN 150' FROM A FIRE HYDRANT.
- 5) SHOW ALL FDC LOCATIONS ON FINAL PLAN.
- 6) ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
- 7) NEW HYDRANTS SHALL BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
- 8) HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
- 9) IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- 10) PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-341-0698.
- 11) ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK CLOSELY WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARD TO RUNNING WIRE FOR TAMPER SWITCH.
- 12) BUILDING CONSTRUCTION TYPE IS SA.
- 13) CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.

**SEE:**

- 1) SITE LIGHTING TO BE PROVIDED BY DUKE ENERGY.



REVISIONS		
No./Date	Description	By
4/05/19	RESPONSE LETTER REV	JET
4/15/19	REVERSE PARKING	JET
6/3/19	FLIP ANGLE PARKING	JET
7/2/19	REVERSE REAR BUFFER	JET
7/26/19	RESPONSE LETTER REV	JET
8/23/19	AND NCDOT C&G	JET
2/12/20	REVISE FOOTING	JAH
6/11/20	ADD PERM PUB ROW	JAH
7/23/21	REV. POOL & RAIN TANK DESIGN	EJM

**SITE DATA:**

PROPERTY OWNER	SERAJ ENTERPRISES, INC.
PROJECT ADDRESS	5001 MARKET STREET
PIN NUMBERS	R04915-001-010-000
AREA NOT IN A FEMA 100-YEAR FLOOD ZONE	
TRACT AREA	193,914 SF (4.45 AC)
DISTURBED AREA	2.28 AC
ZONING DISTRICT	RB: REGIONAL BUSINESS
SETBACKS REQUIRED	FRONT: 25' REAR: 15'
PROPOSED BUILDING SETBACK (VESTIBULE)	FRONT: 66.7' SIDE: 124.8'
PROPOSED BUILDING SETBACK (HOTEL)	FRONT: 9' REAR: 65.9' SIDE: 66.6'

**CAMA LAND USE**

BUILDING USE	HOTEL
PROPOSED BUILDING AREA	83,976 SF
BUILDING LOT COVERAGE (53,483/193,914)	27.58%
NUMBER OF BUILDINGS	2
EXISTING UNITS	100
PROPOSED UNITS	107
TOTAL UNITS	207
BUILDING HEIGHT (HOTEL/VESTIBULE)	40'-20"
NUMBER OF STORIES (HOTEL/VESTIBULE)	4/1
GROSS SF PER FLOOR (HOTEL)	13,469 SF
GROUND FLOOR	13,201 SF
2ND, 3RD & 4TH FLOORS	369 SF
GROSS SF PER FLOOR (VESTIBULE)	14,996 SF
ASPHALT TO BE REMOVED AND RE GRADED	

**EXISTING IMPERVIOUS AREAS:**

EXISTING BUILDING	38,893 SF
EXISTING ASPHALT	83,976 SF
EXISTING CONCRETE	10,838 SF
EXISTING POOL (TO BE REMOVED)	4,336 SF
EXISTING IMPERVIOUS AREA	138,043 SF
EXISTING IMPERVIOUS TO BE REMOVED	-24,125 SF
EXISTING IMPERVIOUS AREA	113,918 SF

**PROPOSED ON-SITE IMPERVIOUS AREAS:**

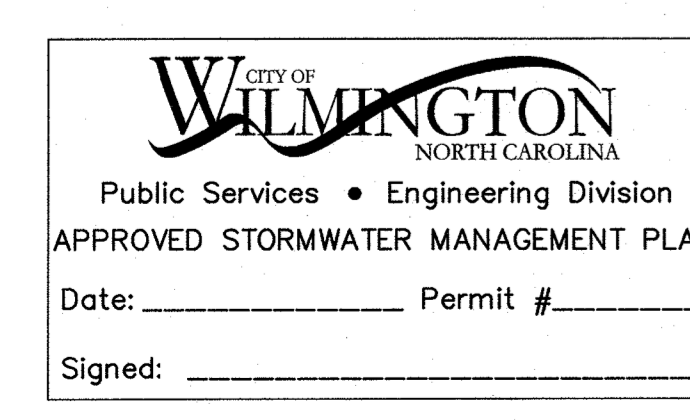
PROPOSED BUILDING (CANOPY/VEST.)	13,916 SF
PROPOSED POOL DECK	4,708 SF
PROPOSED CONCRETE	4,888 SF
PROPOSED ASPHALT & CURBING	13,542 SF
TOTAL ON-SITE IMPERVIOUS AREA	150,972 SF (77.86%)
TOTAL OFF-SITE IMPERVIOUS SIDEWALK AREA	247 SF

**PARKING REQUIRED:**

1/GUEST ROOM PLUS 50% OF THE REQUIRED SPACES FOR ANY ACCESSORY USES	
1/GUEST ROOM (207 ROOMS)	207
RESTAURANT	
(1/80 SF MIN x 50% & 1/65 SF MAX x 50%)	
(2000 SF/80x50% & 2000 SF/65x50%)	13-15
BANQUET HALL	
(1/80 SF MIN x 50% & 1/65 SF MAX x 50%)	
(2575 SF/80x50% & 2575 SF/65x50%)	16-20
TOTAL PARKING REQUIRED	236-242
EXISTING SITE PARKING SPACES	236
PROPOSED PARKING	187
COMPACT PARKING	49
TOTAL PARKING PROVIDED	236
HANDICAP SPACES REQUIRED	7
HANDICAP SPACES PROVIDED	15
BICYCLE PARKING REQUIRED	15
BICYCLE PARKING PROVIDED	20
PUBLIC WATER AND SEWER BY CFPUA	
EXISTING WATER FLOW:	13,200 GPD
EXISTING SEWER FLOW:	12,000 GPD
PROPOSED WATER FLOW:	(120 GPD PER ROOM x 207 ROOMS x 110%)
PROPOSED SEWER FLOW:	27,324 GPD
FOUNDATION PLANTING PROVIDED NORTH	274
FOUNDATION PLANTING PROVIDED WEST	455
FOUNDATION PLANTING PROVIDED WEST	591
FOUNDATION PLANTING PROVIDED WEST	827
PARKING AREA	83,718 *0.08
PARKING AREA PLANTING REQUIRED	6,697
PARKING AREA PLANTING PROVIDED	7,062

**LEGEND**

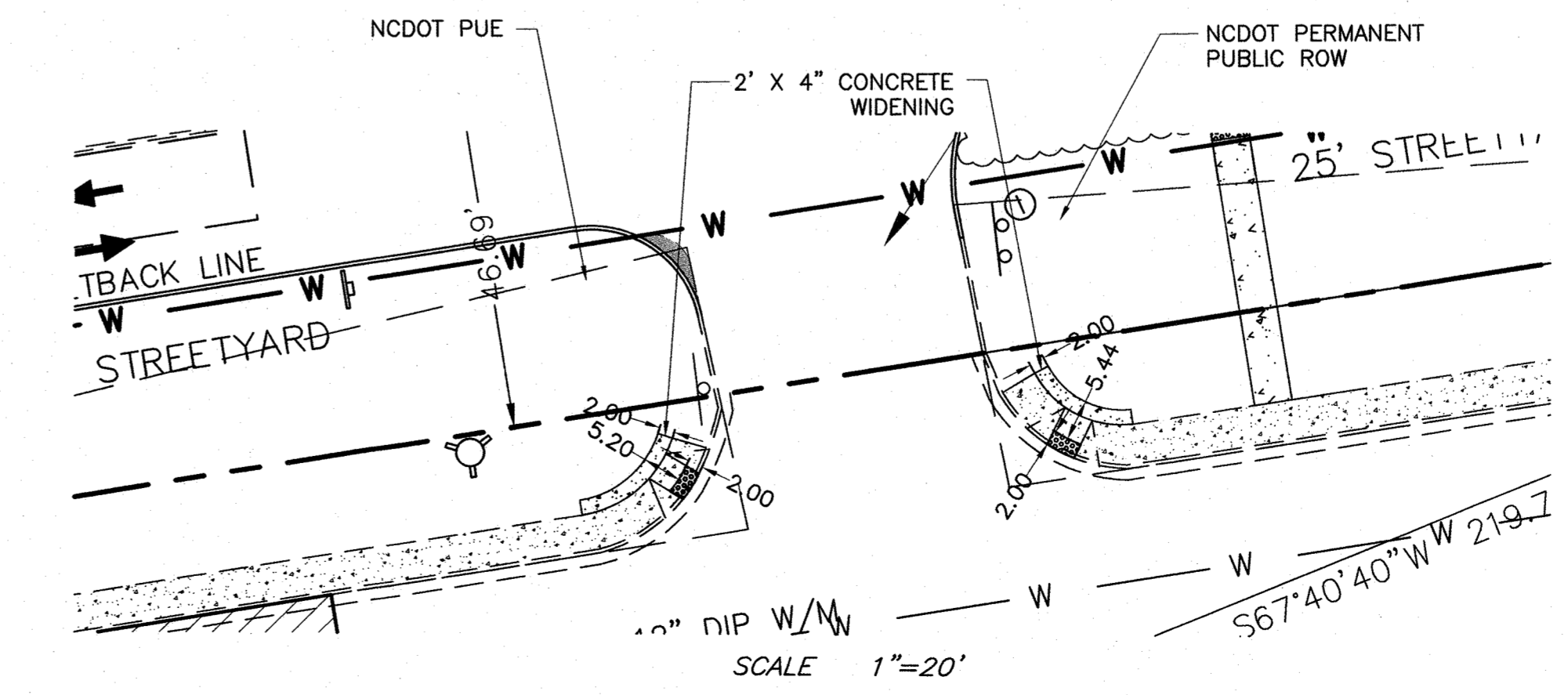
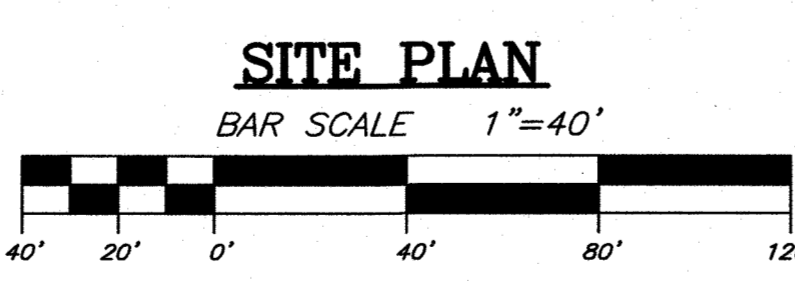
—	PROPERTY BOUNDARY
○	LIGHT POLE
□	CURB INLET
○	UTILITY POLE
—	OVERHEAD WIRE
—	GAS ASSEMBLY
□	TRAFFIC BOX
○	WATER METER
○	DROP INLET
○	GUY WIRE
○	SANITARY SEWER MANHOLE
○	SEPTIC CLEANOUT
○	BACKFLOW PREVENTER
○	FIRE HYDRANT
○	SIGN
○	LARGE SIGN
○	ELECTRIC APPARATUS
○	UTILITY BOX
○	IRRIGATION CONTROL VALVE
—	PROPOSED SEWER
—	PROPOSED WATER
—	PROPOSED STORM WATER
□	RAIN TANK



**Approved Construction Plan**

Name	Date
Planning	
Traffic	
Fire	

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



**TRIPP ENGINEERING, P.C.**  
 419 Chestnut Street  
 Wilmington, North Carolina 28401  
 Phone 910-763-5100  
 Fax 910-763-5681  
 © 2014, TRIPP ENGINEERING, P.C. LICENSE NO. CE-1527

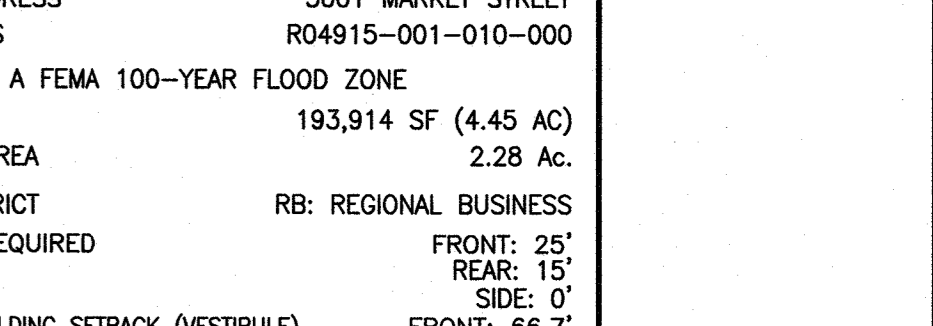
**TRU & TAPESTRY HOTEL**  
 5001 MARKET STREET  
 WILMINGTON, NORTH CAROLINA

DATE 02-08-19  
 DESIGN PGT  
 DRAWN JET

**C2**  
 SHEET 2 OF 7  
 17068

REVISIONS		
No./Date	Description	By
4/06/19	RESPONSE LETTER REV	JET
4/15/19	REVISE PARKING	JET
6/3/19	FLIP ANGLE PARKING	JET
7/2/19	REVISE REAR BUFFER	JET
7/26/19	RESPONSE LETTER REV	JET
7/23/21	REV. POOL & RAIN TANK DESIGN	EJW

**LOCATION MAP**  
NTS



PROPERTY OWNER	SERAJ ENTERPRISES, INC.
PROJECT ADDRESS	5001 MARKET STREET
PIN NUMBERS	R04915-001-010-000
AREA NOT IN A FEMA 100-YEAR FLOOD ZONE	
TRACT AREA	193,914 SF (4.45 AC)
DISTURBED AREA	2.28 AC
ZONING DISTRICT	RB: REGIONAL BUSINESS
SETBACKS REQUIRED	FRONT: 25' REAR: 15' SIDE: 0'
PROPOSED BUILDING SETBACK (VESTIBULE)	FRONT: 66.7' REAR: -
PROPOSED BUILDING SETBACK (HOTEL)	FRONT: 124.8' REAR: 65.9' SIDE: 66.6'
CAMA LAND USE BUILDING USE	HOTEL
PROPOSED BUILDING AREA	5,483 SF
BUILDING LOT COVERAGE (53,483/193,914)	27.58%
NUMBER OF BUILDINGS	1
EXISTING UNITS	107
PROPOSED UNITS	107
TOTAL UNITS	207
BUILDING HEIGHT (HOTEL/VESTIBULE)	40' / 20'
NUMBER OF STORES (HOTEL/VESTIBULE)	4 / 1
GROSS SF PER FLOOR (HOTEL)	13,469 SF
GROUND FLOOR	13,201 SF
2ND, 3RD & 4TH FLOORS	369 SF
GROSS SF PER FLOOR (VESTIBULE)	14,996 SF
ASPHALT TO BE REMOVED AND RE GRADED	

EXISTING IMPERVIOUS AREAS:	
EXISTING BUILDING	38,893 SF
EXISTING ASPHALT	83,976 SF
EXISTING CONCRETE	10,838 SF
EXISTING POOL (TO BE REMOVED)	4,336 SF
EXISTING IMPERVIOUS AREA	138,043 SF
EXISTING IMPERVIOUS TO BE REMOVED	24,125 SF
EXISTING IMPERVIOUS AREA	113,918 SF
PROPOSED ONSITE IMPERVIOUS AREAS:	
PROPOSED BUILDING (CANOPY/VEST.)	13,916 SF
PROPOSED POOL DECK	4,708 SF
PROPOSED CONCRETE	4,888 SF
PROPOSED ASPHALT & CURBING	13,542 SF
TOTAL ONSITE IMPERVIOUS AREA	37,054 SF
TOTAL OFFSITE IMPERVIOUS SIDEWALK AREA	247 SF

RESTAURANT	(1/80 SF MIN x 50% & 1/65 SF MAX x50%)	13-15
BANQUET HALL	(2000 SF/80x50% & 2000 SF/65x50%)	13-15
(1/80 SF MIN x 50% & 1/65 SF MAX x50%)	(2575 SF/80x50% & 2575 SF/65x50%)	16-20
TOTAL PARKING REQUIRED		236-242
EXISTING SITE PARKING SPACES		236
PROPOSED PARKING		187
COMPACT PARKING		48
RURAL PARKING PROVIDED		236
HANDICAP SPACES PROVIDED		7
HANDICAP SPACES REQUIRED		7
BICYCLE PARKING PROVIDED		15
BICYCLE PARKING REQUIRED		20
PUBLIC WATER AND SEWER BY CFPWA		13,200 GPD
EXISTING WATER FLOW:		12,000 GPD
PROPOSED WATER FLOW:	(120 GPD PER ROOM x 207 ROOMS x 110%)	27,324 GPD
PROPOSED SEWER FLOW:	(120 GPD PER ROOM x 207 ROOMS)	24,840 GPD
FOUNDATION PLANTING REQUIRED NORTH		274
FOUNDATION PLANTING PROVIDED NORTH		455
FOUNDATION PLANTING REQUIRED WEST		591
FOUNDATION PLANTING PROVIDED WEST		827
PARKING AREA		83,718 #0.08
PARKING AREA PLANTING PROVIDED		6,687

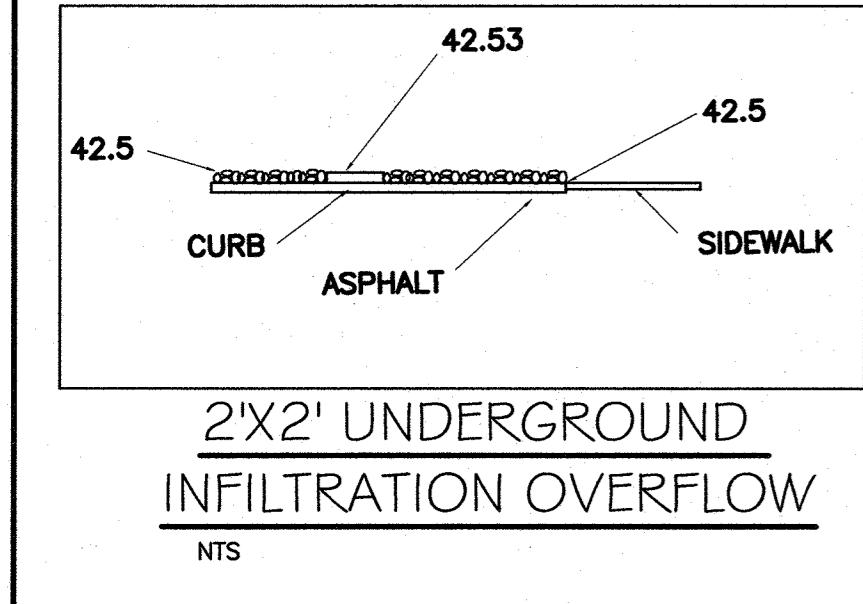
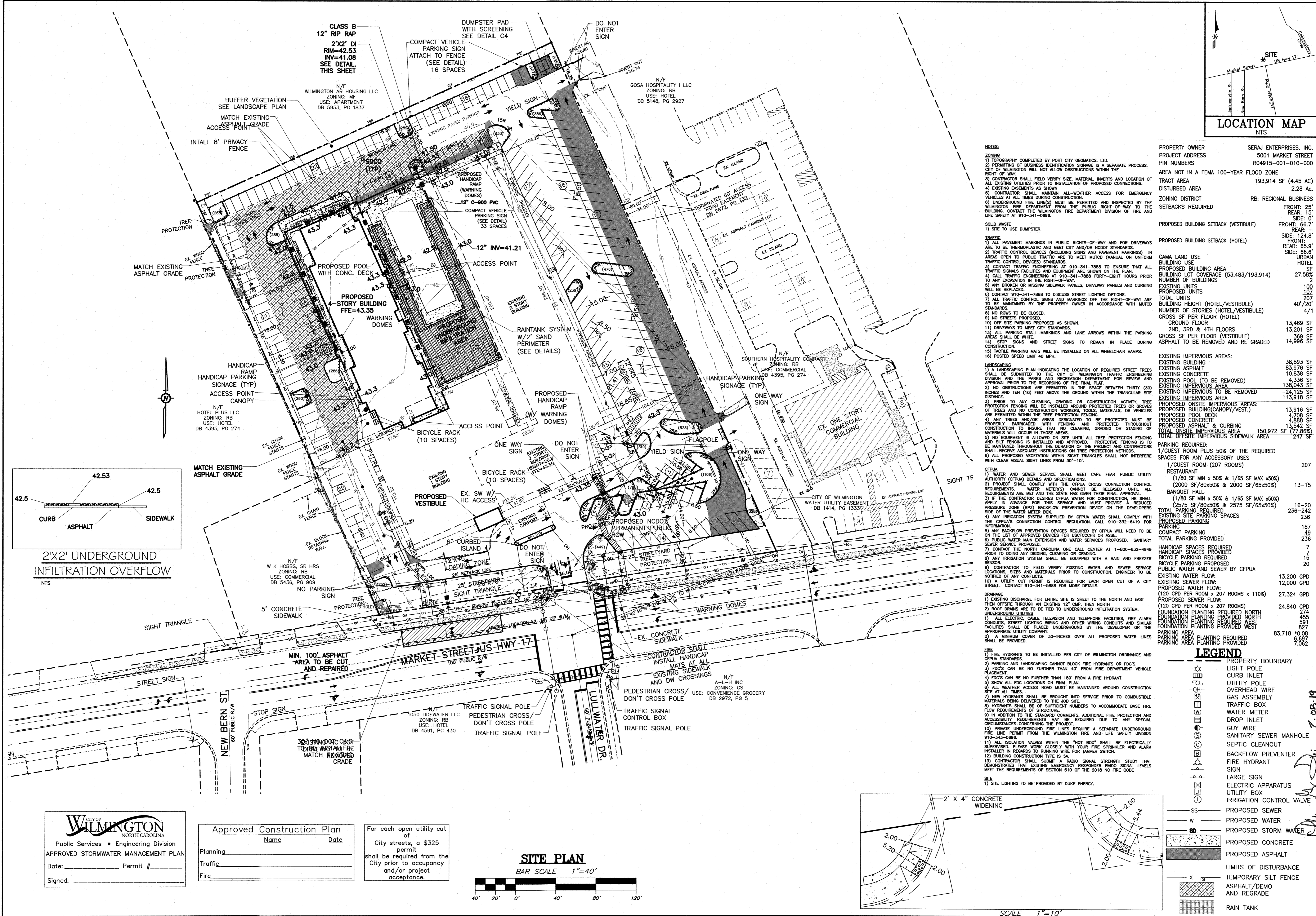
1) WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
2) PROJECT SHALL COMPLY WITH THE CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
3) IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
4) ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA WATER SHALL COMPLY WITH THE CFPWA'S CONNECTION CONTROL REGULATION. CALL 910-332-6419 FOR INFORMATION.
5) ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES FOR USFPOCOR OR ASSE.
6) PUBLIC WATER MAIN EXTENSION AND WATER SERVICES PROPOSED. SANITARY PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.
7) CONTRACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 FOR INFORMATION.
8) CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
9) A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5888 FOR MORE DETAILS.

1) EXISTING DISCHARGE FOR ENTIRE SITE IS SHEET TO THE NORTH AND EAST THEN OFFSITE THROUGH AN EXISTING 12" CMP, THEN NORTH
2) ROOF DRAINS ARE TO BE TIED TO UNDERGROUND INFILTRATION SYSTEM.
UNDERGROUND UTILITIES
1) ALL ELECTRIC, CABLE TELEVISION AND TELEPHONE FACILITIES, FIRE ALARM CONDUITS, STREET LIGHTING WIRING AND OTHER WIRING CONDUITS AND SIMILAR FACILITIES SHALL BE PLACED UNDERGROUND BY THE DEVELOPER OR THE APPROPRIATE UTILITY COMPANY
2) A MINIMUM COVER OF 30-INCHES OVER ALL PROPOSED WATER LINES SHALL BE PROVIDED.
FIRE
1) FIRE HYDRANTS TO BE INSTALLED PER CITY OF WILMINGTON ORDINANCE AND CFPWA STANDARDS.
2) PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS OR FDC'S.
3) FDC'S CAN BE NO FURTHER THAN 40' FROM FIRE DEPARTMENT VEHICLE PLACEMENT.
4) FDC'S CAN BE NO FURTHER THAN 150' FROM A FIRE HYDRANT.
5) SHOW ALL FDC LOCATIONS ON FINAL PLAN.
6) ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
7) NEW HYDRANTS SHALL BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
8) HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
9) IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND LIABILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SIMILAR CIRCUMSTANCES CONCERNING THE PROJECT.
10) PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-5898.
11) ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK CLOSELY WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TRAMMER SWITCH.
12) BUILDING CONSTRUCTION TYPE IS SA.
13) CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY THAT DEMONSTRATES THAT EXISTING EMERGENCY RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE

1) SITE LIGHTING TO BE PROVIDED BY DUKE ENERGY.
LEGEND
☆ PROPERTY BOUNDARY
○ LIGHT POLE
○ CURB INLET
○ UTILITY POLE
○ OVERHEAD WIRE
○ GAS ASSEMBLY
○ TRAFFIC BOX
○ WATER METER
○ DROP INLET
○ GUY WIRE
○ SANITARY SEWER MANHOLE
○ SEPTIC CLEANOUT
○ BACKFLOW PREVENTER
○ FIRE HYDRANT
○ SIGN
○ LARGE SIGN
○ ELECTRIC APPARATUS
○ UTILITY BOX
○ IRRIGATION CONTROL VALVE
SS PROPOSED SEWER
W PROPOSED WATER
SD PROPOSED STORM WATER
PROPOSED CONCRETE
PROPOSED ASPHALT
LIMITS OF DISTURBANCE
TEMPORARY SILT FENCE
ASPHALT/DEMO
AND REGRADE
RAIN TANK

**TRIPP ENGINEERING, P.C.**  
419 Chestnut Street  
Wilmington, North Carolina 28401  
Phone 910-763-5100  
Fax 910-763-5681  
© TRIPP ENGINEERING, P.C.

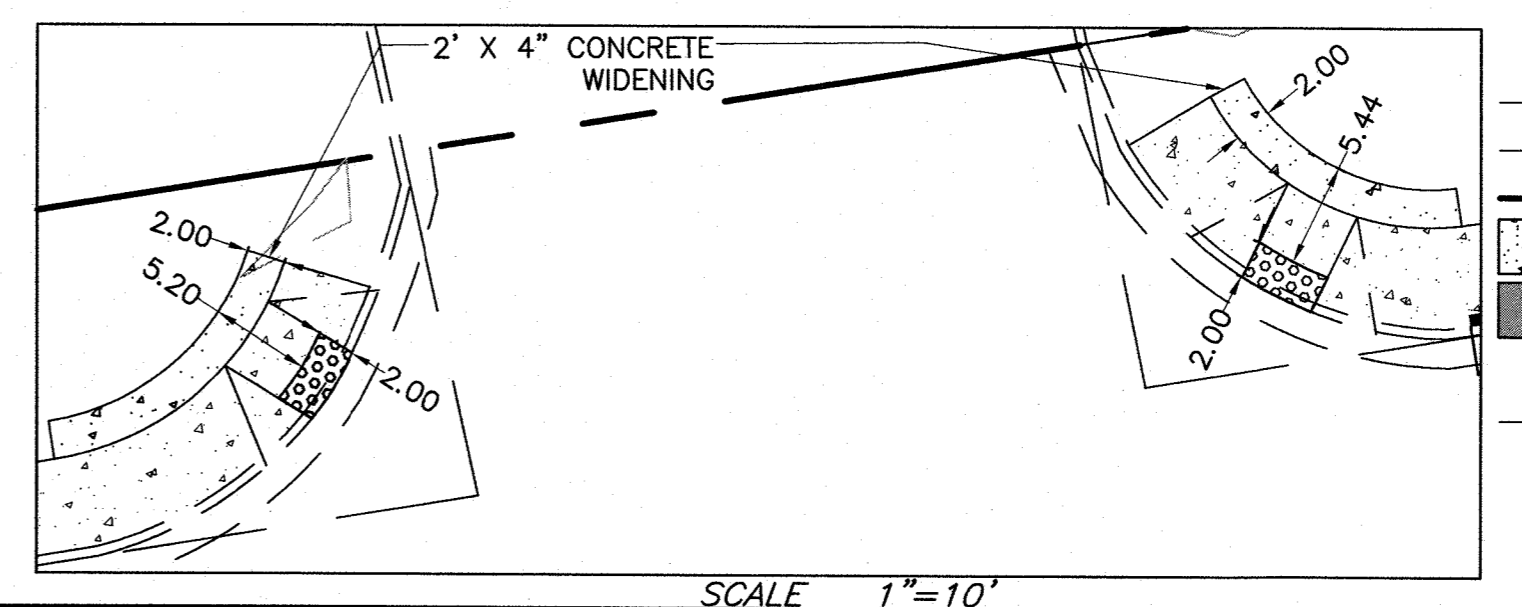
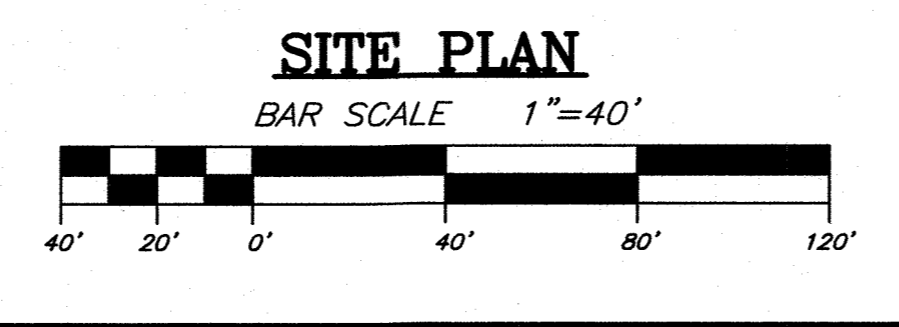
DATE 02-08-19  
DESIGN PGT  
DRAWN JET  
**C3**  
SHEET 3 OF 7  
17068



**CITY OF WILMINGTON**  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

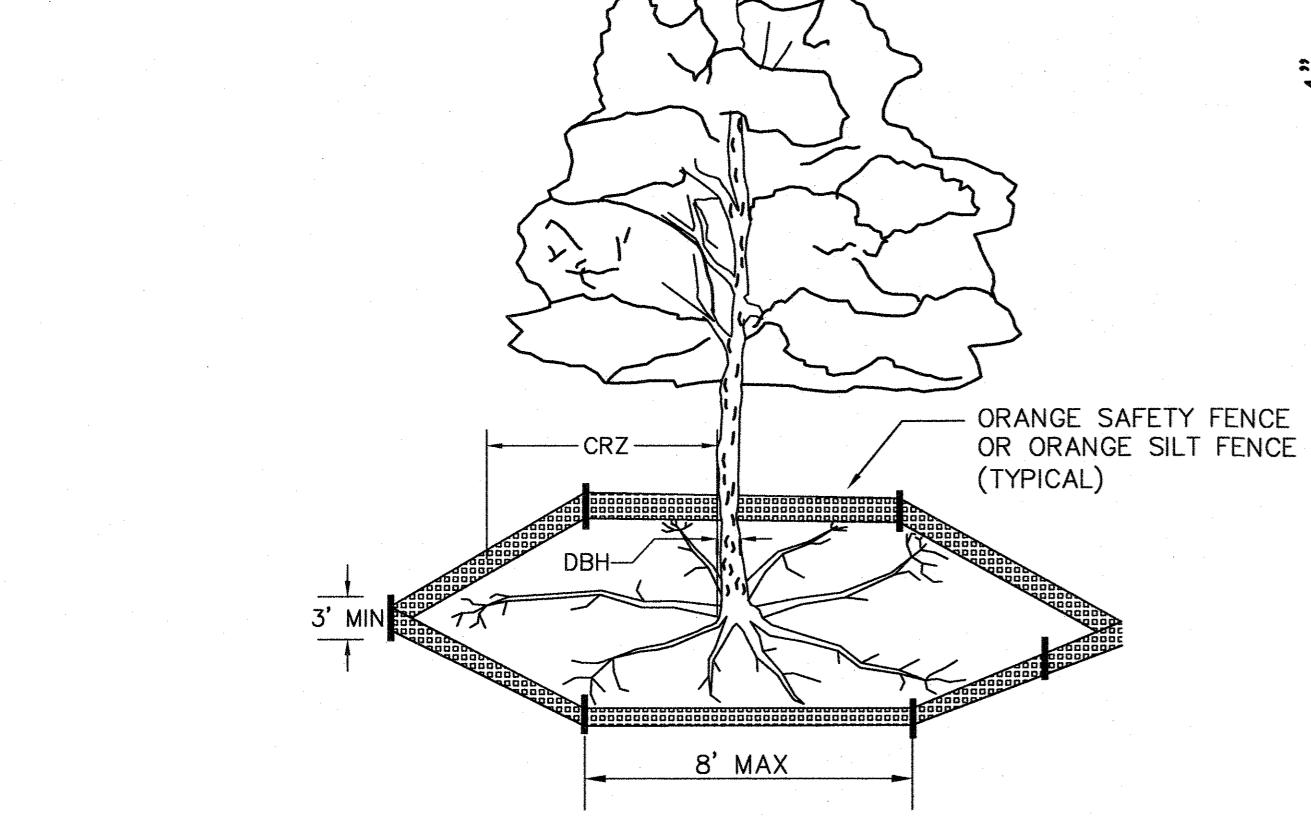
Approved Construction Plan		
Name	Date	
Planning		
Traffic		
Fire		

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

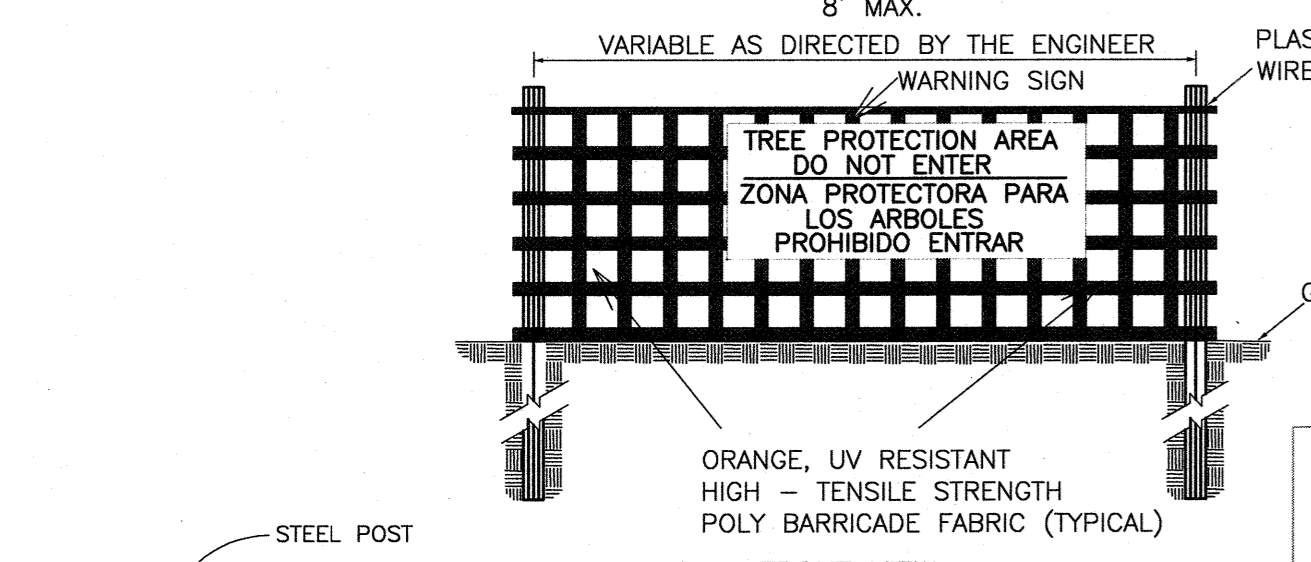


NOTE: THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

NOTE: CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN. FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISRUPT CROWN WITH INTENSIVE PRUNING.

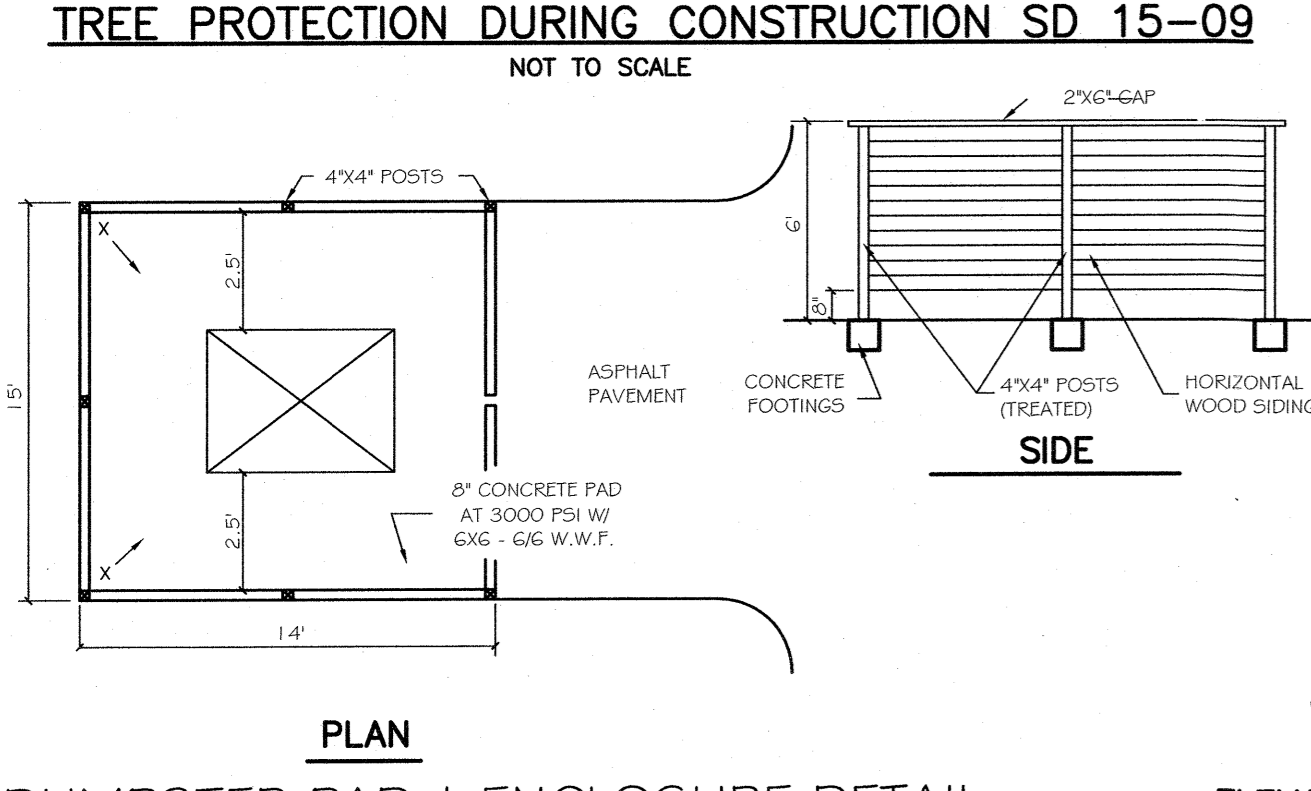


1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
3. IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES, DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

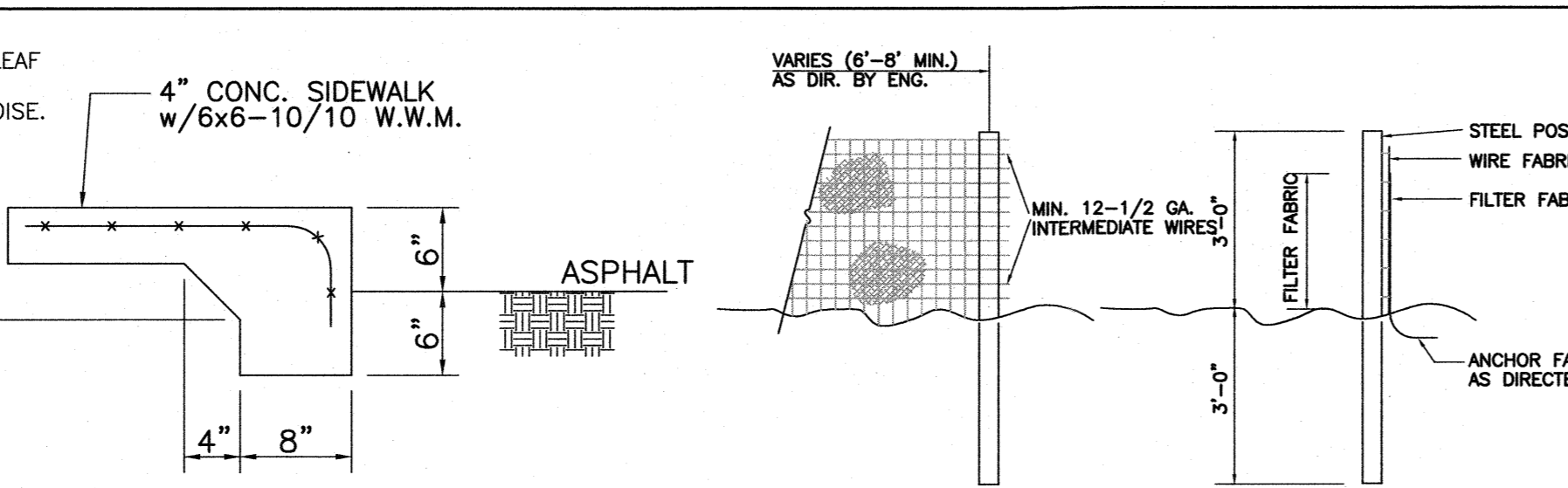


1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
4. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
5. TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
6. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

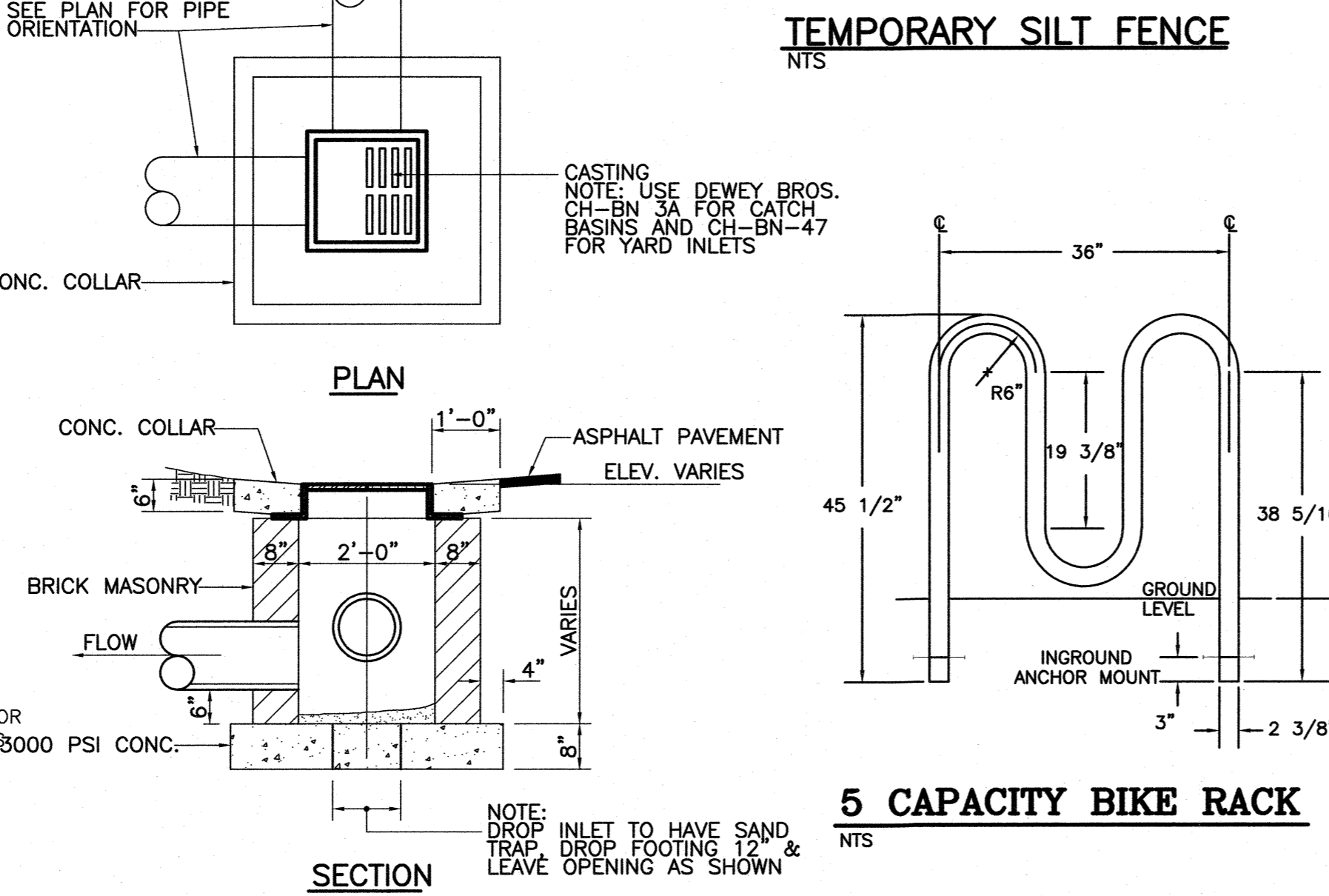
NOTE: THE CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.



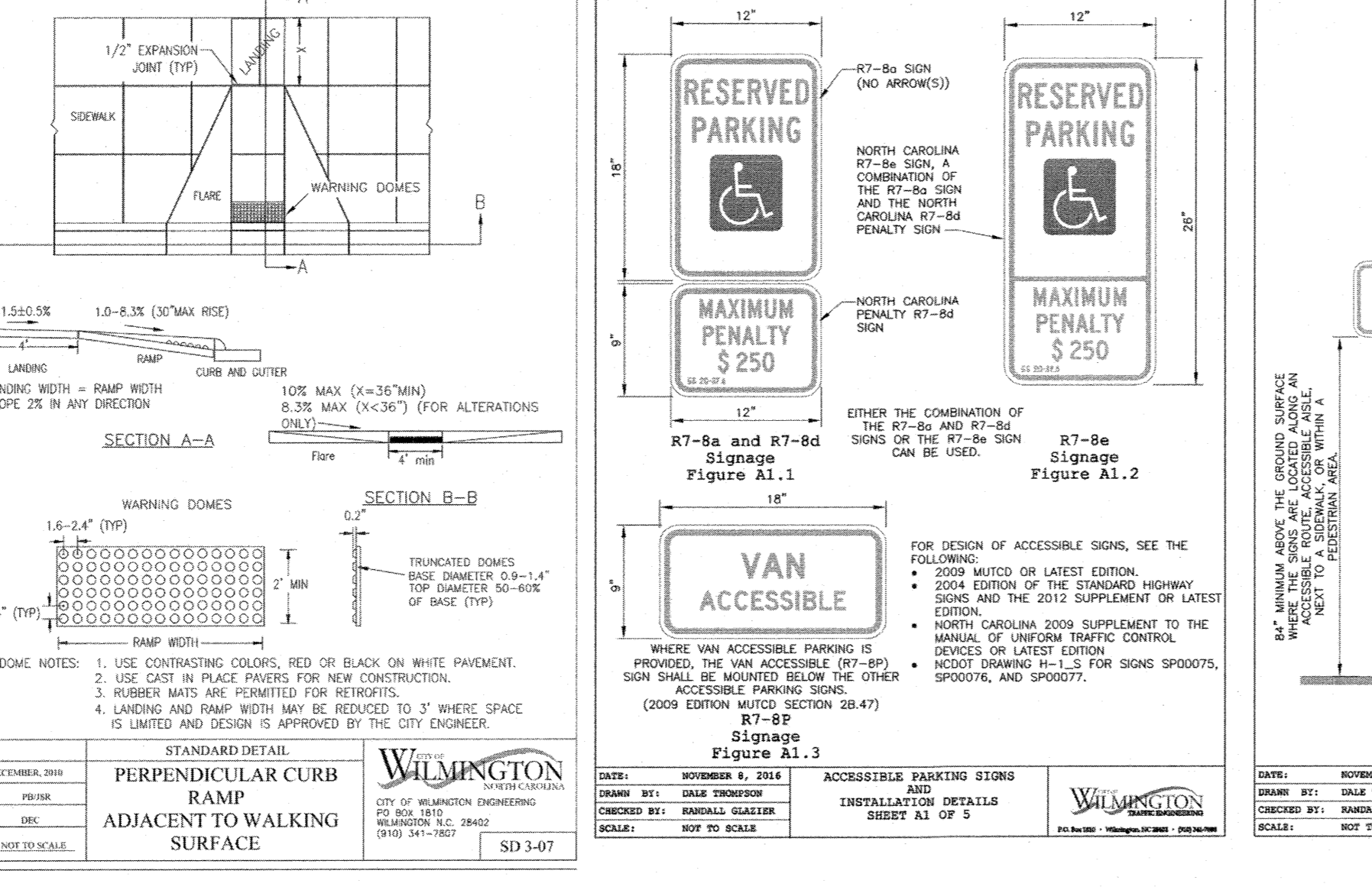
### DUMPSTER PAD & ENCLOSURE DETAIL



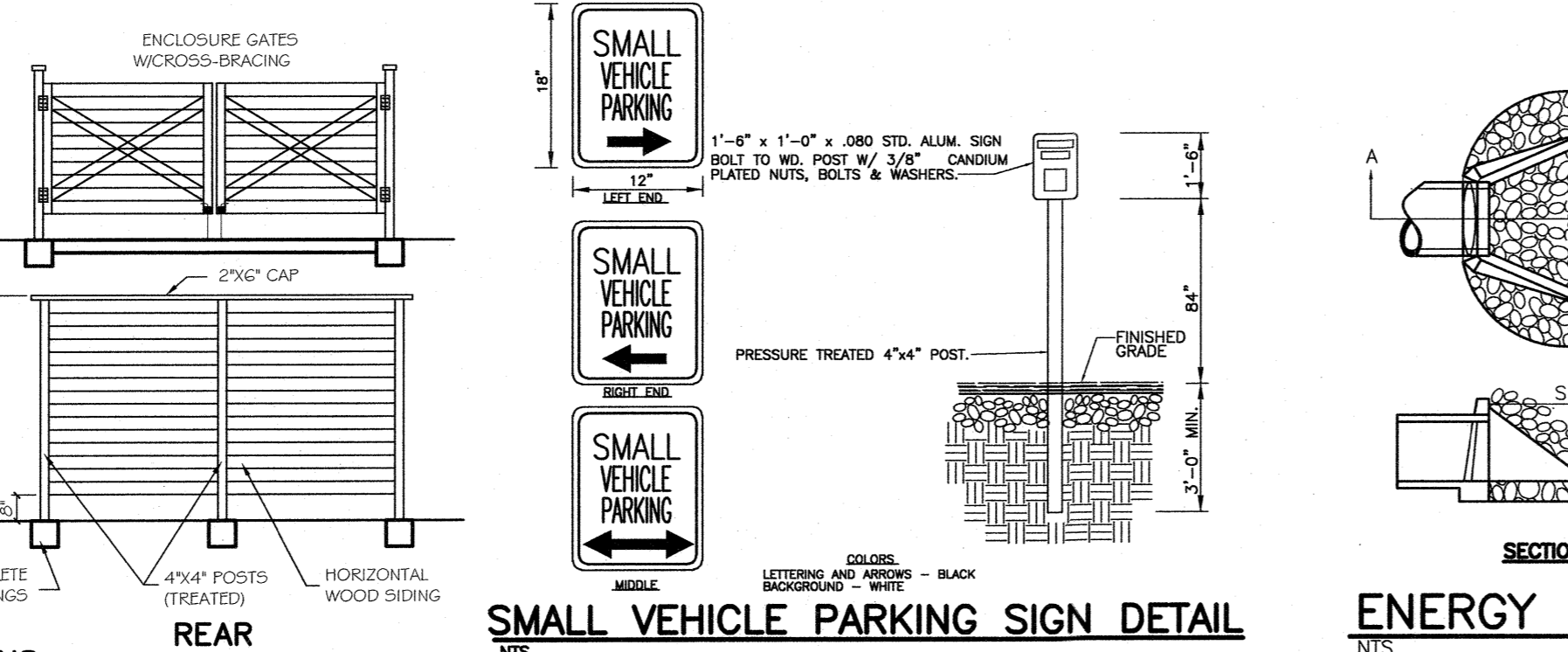
1. FENCE FABRIC SHALL BE A MIN. OF 32" IN WIDTH AND SHALL HAVE A MIN. OF SIX LINE WIRES WITH 12" STAY SPACING.
2. FABRIC SHALL BE FOR EROSION CONTROL AND MIN. OF 36" IN WIDTH. FABRIC SHALL BE FASTENED ADEQUATELY TO THE WIRE FABRIC AS DIRECTED BY THE ENGINEER.
3. STEEL POST SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER STEEL ANGLE TYPE.



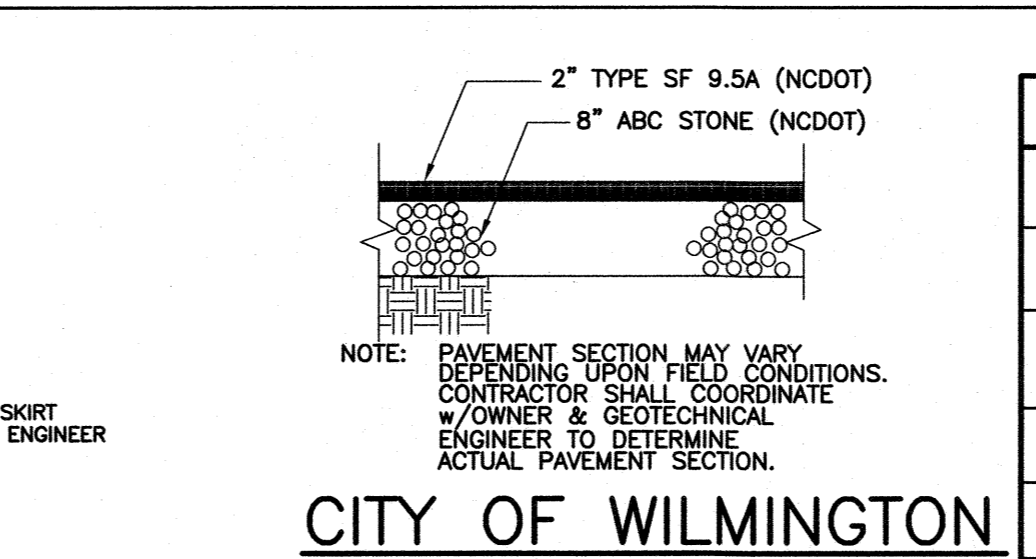
### 5 CAPACITY BIKE RACK



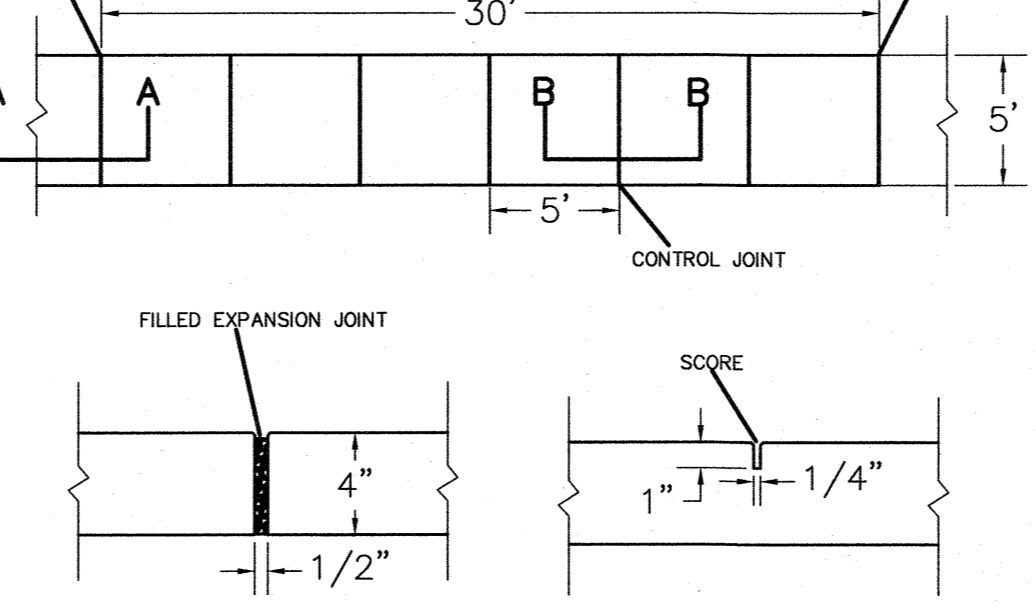
### DROP INLET DETAIL



### SMALL VEHICLE PARKING SIGN DETAIL



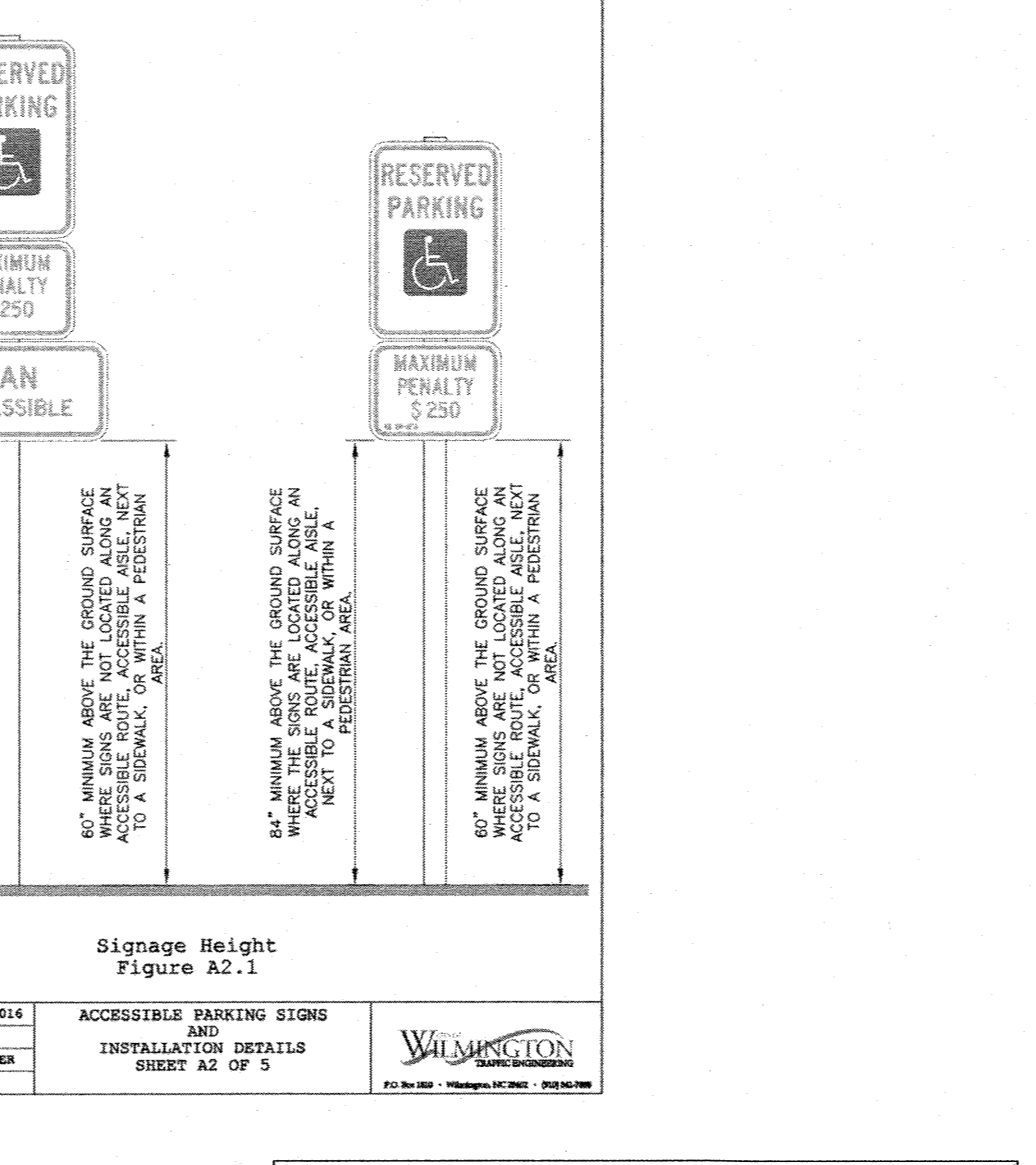
### CITY OF WILMINGTON PAVEMENT SECTION



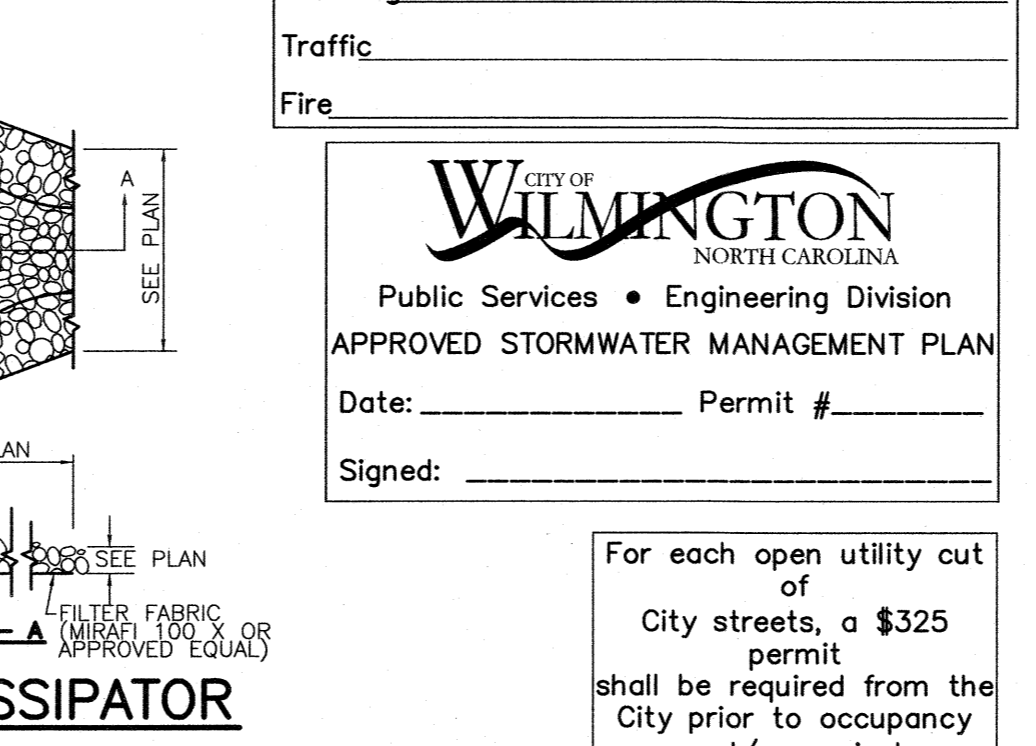
### CITY OF WILMINGTON SIDEWALK SD 3-10

1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAINING A DRIVEWAY APPROX) SHALL BE CLASS 7" - 3,000 PSI.
5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1.
9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3% 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.
10. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3% 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

### CITY OF WILMINGTON SIDEWALK SD 3-10



### LATE WINTER & EARLY SPRING TEMPORARY GRASSING DETAIL



### ENERGY DISSIPATOR

SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES	7 DAYS	NONE
HIGH QUALITY WATER ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 3:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 30 FEET IN LENGTH.
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HIGH ZONES)

### NPDES GROUND STABILIZATION CRITERIA

SEEDING MIXTURE SPECIES	RATE (lb/acre)
PERMANENT GRASSING	120
TEMPORARY GRASSING	50

### FALL-WINTER PERMANENT GRASSING DETAIL

SEEDING MIXTURE SPECIES	RATE (lb/acre)
PERMANENT GRASSING	120
TEMPORARY GRASSING	50

### TEMPORARY SUMMER GRASSING DETAIL

SEEDING MIXTURE SPECIES	RATE (lb/acre)
TEMPORARY GRASSING	50

### TEMPORARY FALL GRASSING DETAIL

SEEDING MIXTURE SPECIES	RATE (lb/acre)
TEMPORARY GRASSING	50

### APPROVED CONSTRUCTION PLAN

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

City of Wilmington Public Services • Engineering Division

Approved STORMWATER MANAGEMENT PLAN

Date \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

DATE 02-08-19

REVISIONS

No./Date	Description	By
4/05/19	RESPONSE LETTER REV	JET
4/15/19	NO COMPACT DET	JET
4/25/19	ADD DETAIL	JET

DETAILS AND NOTES

**TRIPP ENGINEERING, P.C.**  
419 Chestnut Street  
Wilmington, North Carolina 28401  
Phone 910-763-5100  
Email trrippeng@ec.rr.com  
© 2019 TRIPP ENGINEERING, P.C.

**TRU & TAPESTRY HOTEL**  
5001 MARKET STREET  
WILMINGTON, NORTH CAROLINA

DATE 02-08-19  
DESIGN PGT  
DRAWN JET  
C4  
SHEET 4 OF 7  
17068

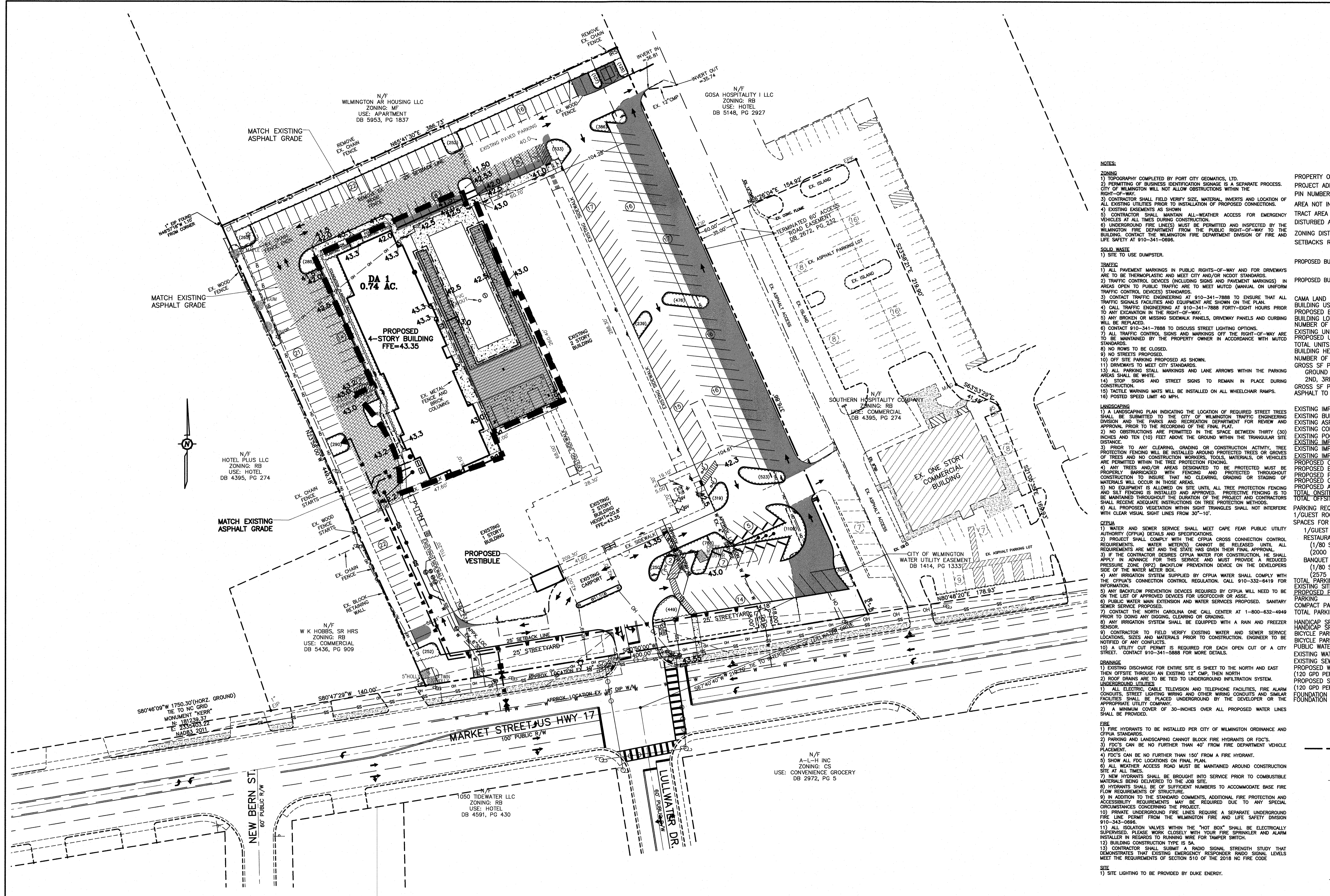




**REVISIONS**

No.	Date	Description	By
4/05/19		RESPONSE LETTER REV	JET
6/3/19		FLIP ANGLE PARKING	JET
7/23/21		REV. POOL & RAIN TANK DESIGN	EJM

**LOCATION MAP**  
NTS



**NOTES:**

**ZONING:**

- 1) TOPOGRAPHY COMPLETED BY PORT CITY GEOMATICS, LTD.
- 2) PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS. CITY OF WILMINGTON WILL NOT ALLOW OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY.
- 3) CONTRACTOR SHALL FIELD VERIFY SIZE, MATERIAL, INVERTS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED CONNECTIONS.
- 4) EXISTING EASEMENTS AS SHOWN.
- 5) CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- 6) UNDERGROUND FIRE LINES MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0686.

**SOLID WASTE:**

- 1) SITE TO USE DUMPSTER.

**TRAFFIC:**

- 1) ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- 2) TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- 3) CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNALS, FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- 4) CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- 5) ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- 6) CONTACT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- 7) ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- 8) NO ROWS TO BE CLOSED.
- 9) NO STREETS PROPOSED AS SHOWN.
- 10) OFF SITE PARKING PROPOSED AS SHOWN.
- 11) DRIVEWAYS TO MEET CITY STANDARDS.
- 12) ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- 13) STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- 14) STOP SIGNS AND STREET SIGNS TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- 15) TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- 16) POSTED SPEED LIMIT 40 MPH.

**LANDSCAPING:**

- 1) A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND THE PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
- 2) NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.
- 3) PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. FENCING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR WITHIN THE TREE PROTECTION FENCING.
- 4) ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROTECTED THROUGHOUT THE DURATION OF THE PROJECT AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTIONS ON TREE PROTECTION METHODS.
- 5) NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTIONS ON TREE PROTECTION METHODS.
- 6) ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.

**CFPIA:**

- 1) WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPIA) DETAILS AND SPECIFICATIONS.
- 2) PROTECT SHALL COMPLY WITH THE CFPIA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
- 3) IF THE CONTRACTOR DESIRES CFPIA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- 4) ANY IRRIGATION SYSTEM SUPPLIED BY CFPIA WATER SHALL COMPLY WITH THE CFPIA'S CONNECTION CONTROL REGULATION. CALL 910-332-6419 FOR INFORMATION.
- 5) ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPIA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES FOR USFOCCHR OR ASSE.
- 6) PUBLIC WATER MAIN EXTENSION AND WATER SERVICES PROPOSED. SANITARY SEWER SERVICE PROPOSED.
- 7) CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4849 PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.
- 8) ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- 9) CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- 10) A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5888 FOR MORE DETAILS.

**DRAINAGE:**

- 1) EXISTING DISCHARGE FOR ENTIRE SITE IS SHEET TO THE NORTH AND EAST THEN OFFSITE THROUGH AN EXISTING 12" CMP, THEN NORTH.
- 2) ROOF DRAINS ARE TO BE TIED TO UNDERGROUND INFILTRATION SYSTEM.
- 3) UNDERGROUND UTILITIES:

**FIRE:**

- 1) ALL FIRE HYDRANTS TO BE INSTALLED PER CITY OF WILMINGTON ORDINANCE AND CFPIA STANDARDS.
- 2) PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS OR FDC'S.
- 3) FDC'S CAN BE NO FURTHER THAN 40' FROM FIRE DEPARTMENT VEHICLE PLACEMENT.
- 4) FDC'S CAN BE NO FURTHER THAN 150' FROM A FIRE HYDRANT.
- 5) SHOW ALL FDC LOCATIONS ON FINAL PLAN.
- 6) ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
- 7) NEW HYDRANTS SHALL BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
- 8) HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
- 9) IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- 10) PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0886.
- 11) ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK CLOSELY WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH.
- 12) BUILDING CONSTRUCTION TYPE IS SA.
- 13) CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.

**SITE:**

- 1) SITE LIGHTING TO BE PROVIDED BY DUKE ENERGY.

**LEGEND**

	PROPERTY BOUNDARY
	LIGHT POLE
	CURB INLET
	UTILITY POLE
	OVERHEAD WIRE
	GAS ASSEMBLY
	TRAFFIC BOX
	WATER METER
	DROP INLET
	GUY WIRE
	SANITARY SEWER MANHOLE
	SEPTIC CLEANOUT
	BACKFLOW PREVENTER
	FIRE HYDRANT
	SIGN
	LARGE SIGN
	ELECTRIC APPARATUS
	UTILITY BOX
	IRRIGATION CONTROL VALVE
	PROPOSED SEWER
	PROPOSED WATER
	PROPOSED STORM WATER

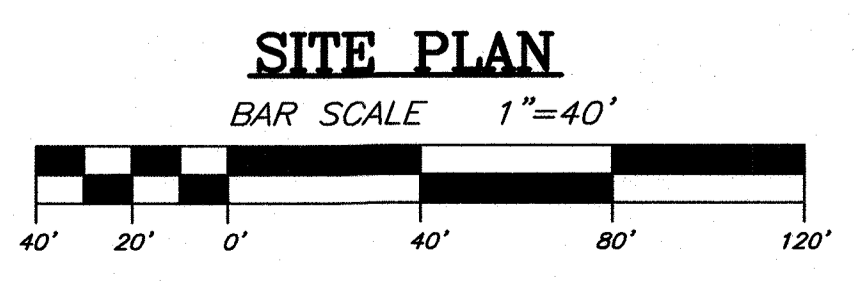
**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

**Approved Construction Plan**

Name	Date
Planning	
Traffic	
Fire	

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



**TRIPP ENGINEERING, P.C.**  
419 Chestnut Street  
Wilmington, North Carolina 28401  
Phone 910-763-5100  
Fax 910-763-5631  
© 2014, TRIPP ENGINEERING, P.C.

**DRAINAGE AREA MAP**

**TRU & TAPESTRY HOTEL**  
5001 MARKET STREET  
WILMINGTON, NORTH CAROLINA

DATE 02-08-19  
DESIGN PGT  
DRAWN JET

**DA1**  
SHEET 1 OF 1  
17068